

# ESCONDIDO GENERAL PLAN UPDATE

The City Council initiated an update of Escondido's General Plan in 2008 that involves an evaluation and analysis of, as well as possible revisions to, existing policies and directives that guide city growth and development. The following slides are intended to supplement the public participation process by providing background information regarding the General Plan.

# What is a “General Plan?”

- Identifies community goals and objectives
- Blueprint for future growth
- Addresses all aspects of development
- Balances competing interests and needs



# General Plan Legal Considerations

- Must be current, comprehensive, and long-term
- Must meet statutory requirements
- Elements have equal status and must be internally consistent
- Land use decisions and other plans must be consistent
- Serves as source of dedications and fees



# Why is the City Undertaking A General Plan Update Now ?

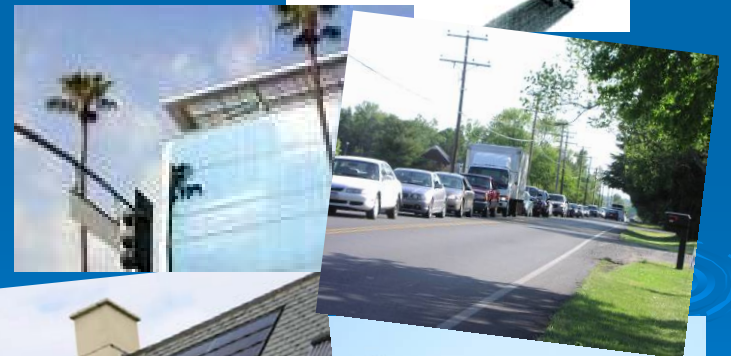
- The last major update for the General Plan was 1990
- Communities are constantly changing
- An updated plan is needed to address the future of the City to the year 2030
- The plan needs input and review by those affected the most; the citizens



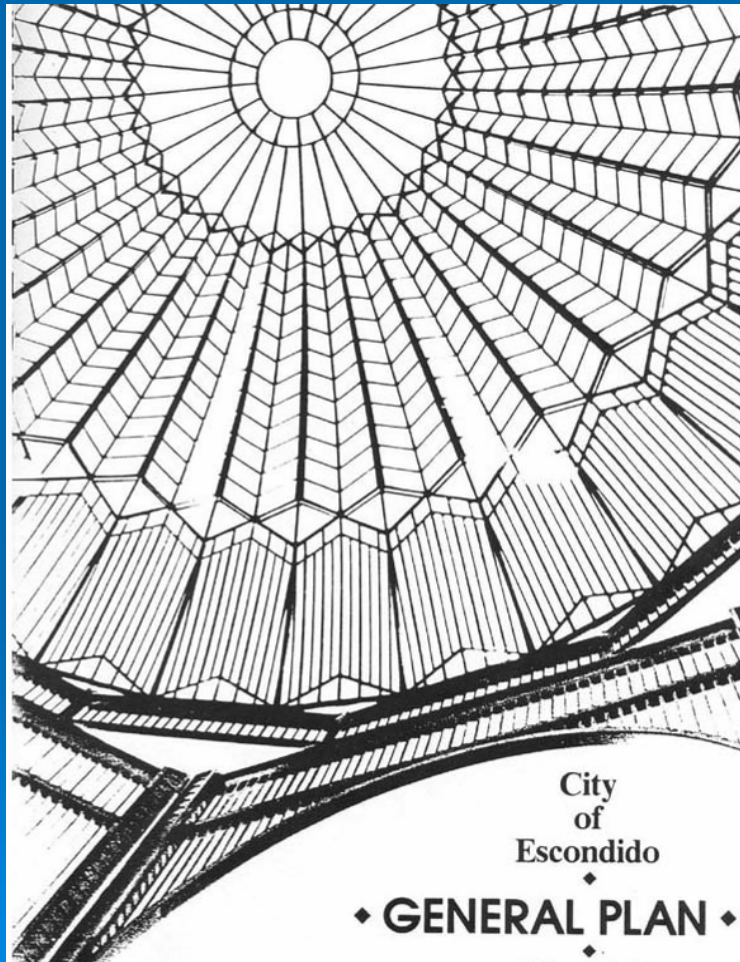


# Issues that Could be Considered in the General Plan Update

- Determining Desired Build out
- Increased development and housing in the Downtown Area
- Quality of Life Standards & infrastructure needs
- Text amendments
- Land use changes
- Economic growth
- Expanded transit
- General Plan boundaries
- “Smart Growth” areas
- Sustainable development



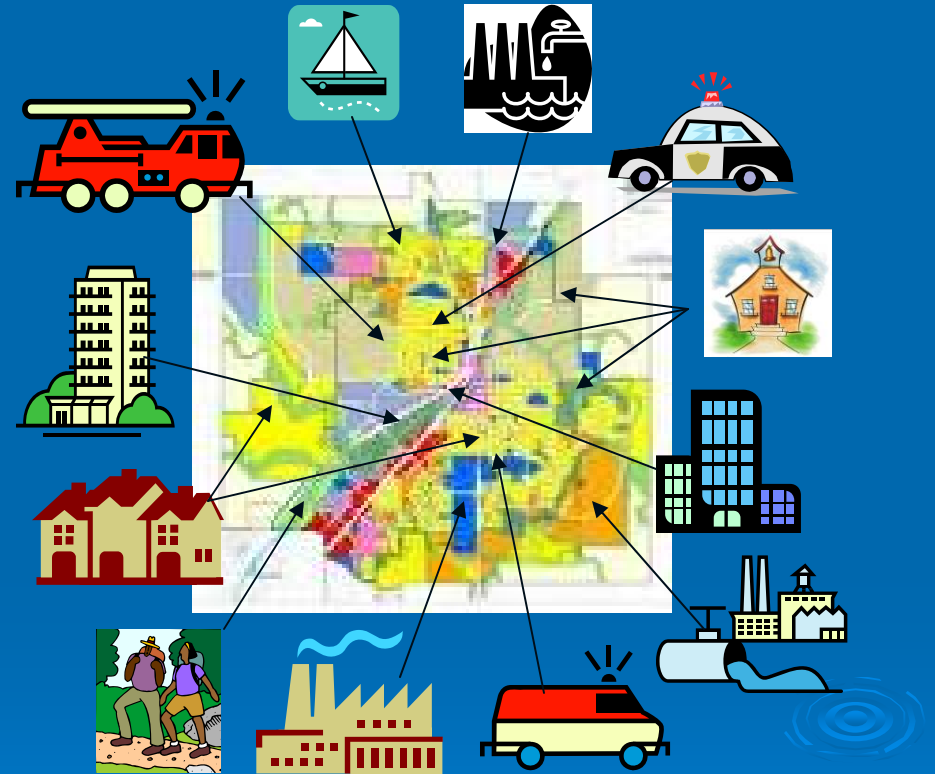
# All General Plans Must Contain Seven State-Mandated Elements



- 1) Land Use
- 2) Circulation
- 3) Housing
- 4) Conservation
- 5) Open Space
- 6) Noise
- 7) Safety

# 1) Land Use Element

- The Plan's central framework
- Identifies the densities and intensities of land uses and designates their distribution throughout the community
- Land Use goals and policies directly drive other elements



## 2) Circulation Element



- Provides the location and extent of major thoroughfares, transportation routes, terminals, and other local public utilities and facilities
- Correlates with other parts of the General Plan



# 3) Housing Element

- Must be revised by 2011
- Must assess existing and projected housing needs and Regional Share
- Must analyze constraints and include goals, policies, quantified objectives, financial resources, and programs
- Must identify properly zoned land to address the full range of housing needs





# 4) Conservation Element

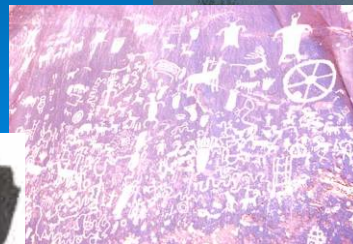
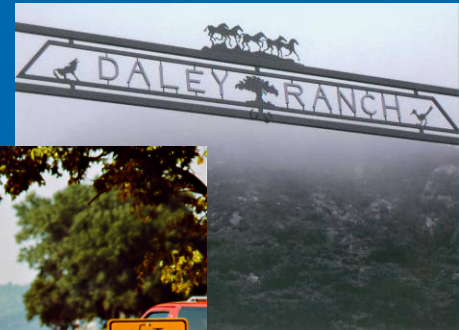
➤ Must address identification, conservation, development and use of natural resources

- Water
- Forests
- Soil
- Waterways
- Wildlife
- Mineral deposits
- others



# 5) Open Space Element

- Requires the comprehensive preservation and conservation of open space land and an action plan.
- Must protect Native American historical and cultural sites



# 6) Noise Element



- Identifies and appraises noise problems
- Guides land use patterns that minimize exposure to excessive noise.
- Analyses must meet technical standards



# 7) Safety Element

➤ Establishes policies to protect the community from risks associated with:

- Seismic
- Geologic
- Wildfire
- Flooding
- Hazardous Buildings



# Escondido's Optional Elements



- Community Facilities and Services
- Growth Management
- Implementation
- Specific Planning Areas





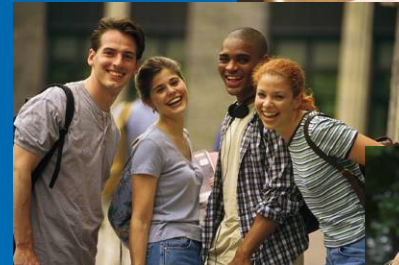
# Escondido's Adopted Community Goals & Objectives



- 1) Ensure quality, managed growth
- 2) Provide circulation safety for vehicles and pedestrians
- 3) Enhance existing neighborhoods
- 4) Provide housing opportunities for all income groups

# Goals & Objectives (Cont'd)

- 5) Include high quality businesses
- 6) Maintain a viable urban downtown
- 7) Establish an aesthetically pleasing, culturally diverse community
- 8) Preserve natural & scenic resources



# Goals & Objectives (Cont'd)



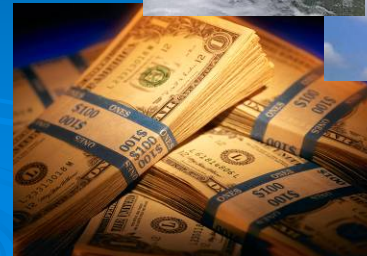
- 9) Provide planning for possible transition from farmland to urban
- 10) Continue community and social services
- 11) Ensure a safe and healthy environment
- 12) Provide certainty in implementing the Plan



# Adopted Quality of Life Standards

Establishes thresholds of service levels for public facilities and improvements regarding:

- Traffic/Transportation
- Schools
- Fire Service
- Police
- Sewer System
- Parks
- Libraries
- Open Space
- Air Quality
- Water System
- Economic Prosperity



# Implementation Achievements Since General Plan's Original Adoption

## ➤ Master Plans:

- Parks Trails & Open Space, Bicycle, Libraries, Daley Ranch, Fire Stations, Water, Sewer, Drainage

## ➤ Area Plans / Specific Plans:

- Downtown, ERTC, East Valley Parkway, Mercado, South Escondido Boulevard

## ➤ Ordinances / Standards:

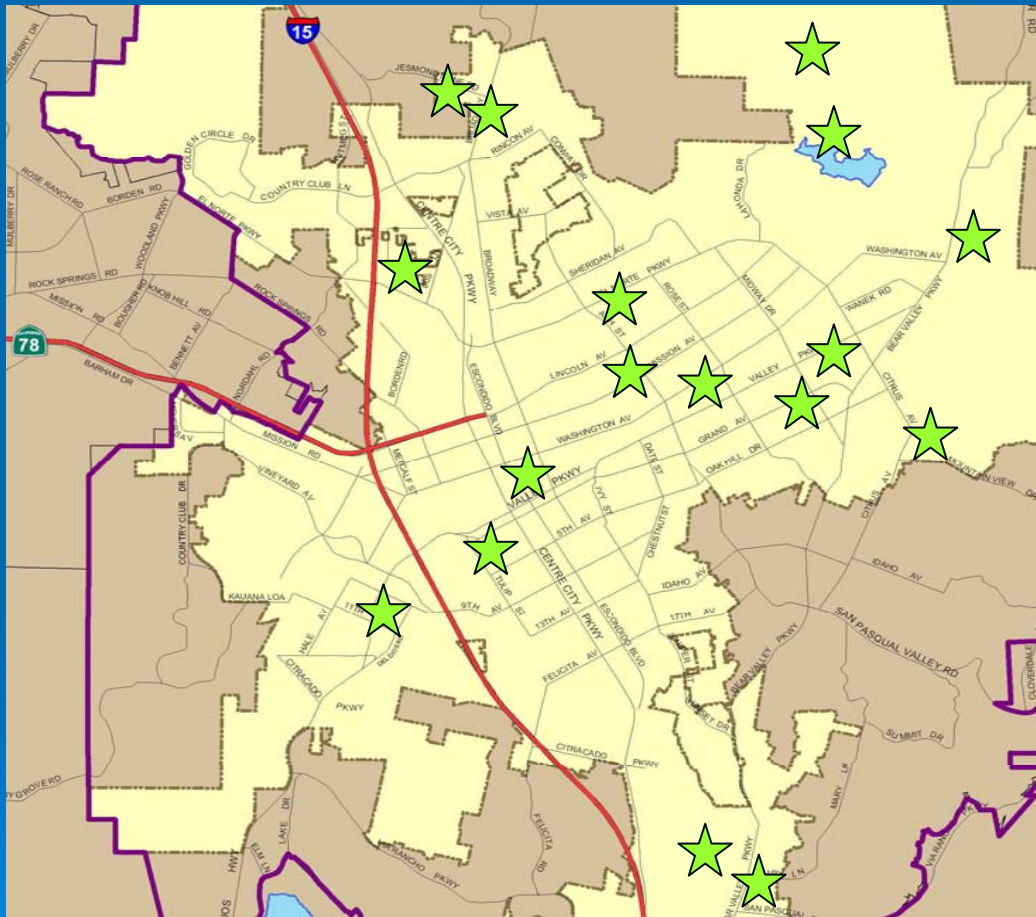
- Ridgeline, Slope Density, Design Review, Standards of Coverage Historic Preservation, Development Standards, Infrastructure Deficiencies

## ➤ Historic Surveys

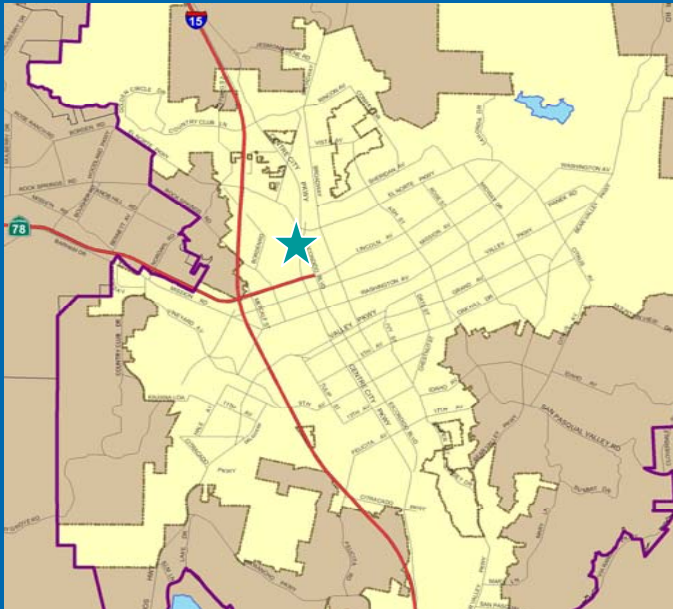




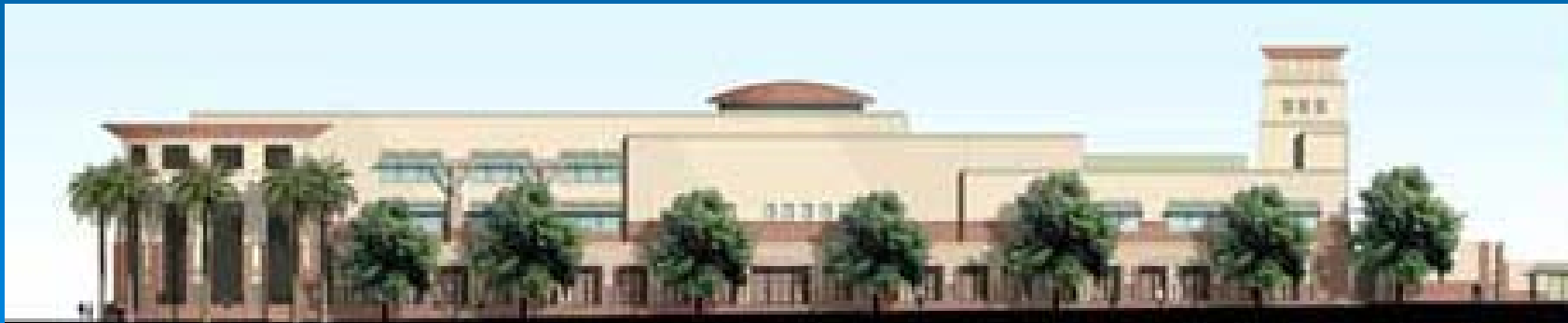
# Parkland Improvements



# Police & Fire Administration Facility



Southern Elevation



Western Elevation

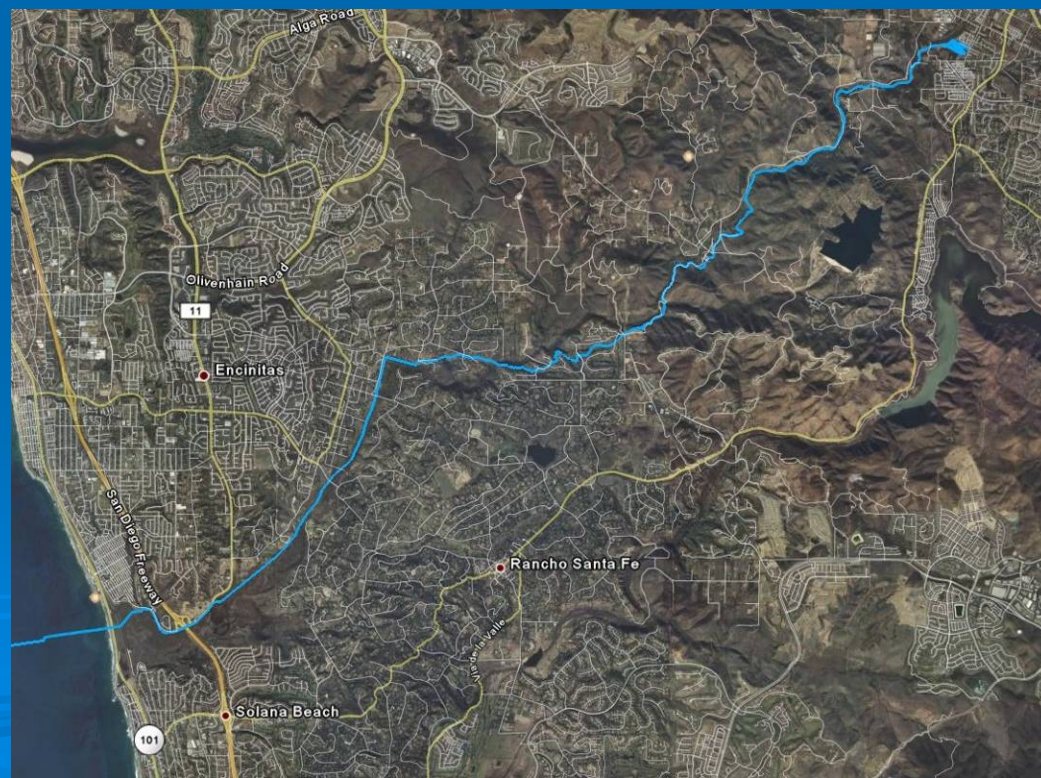
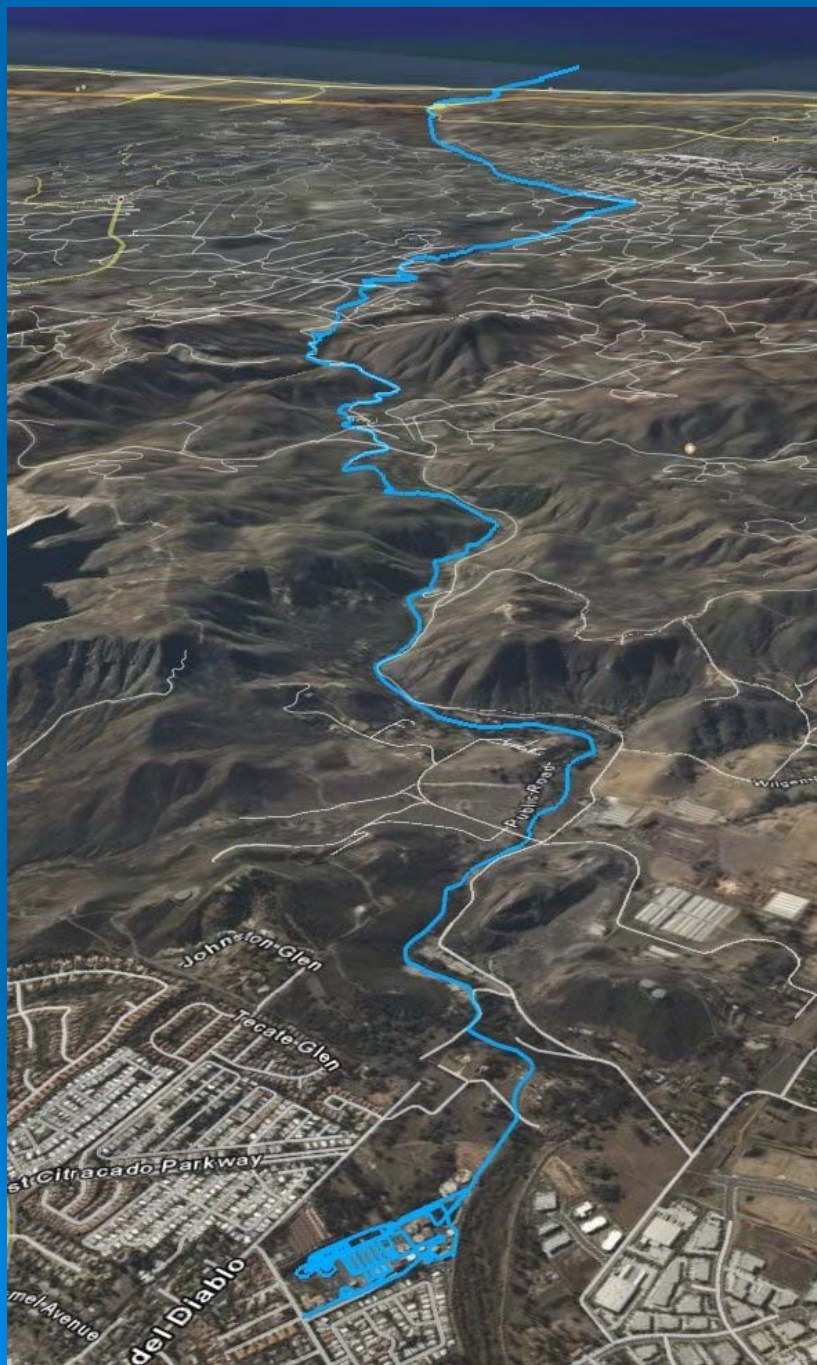






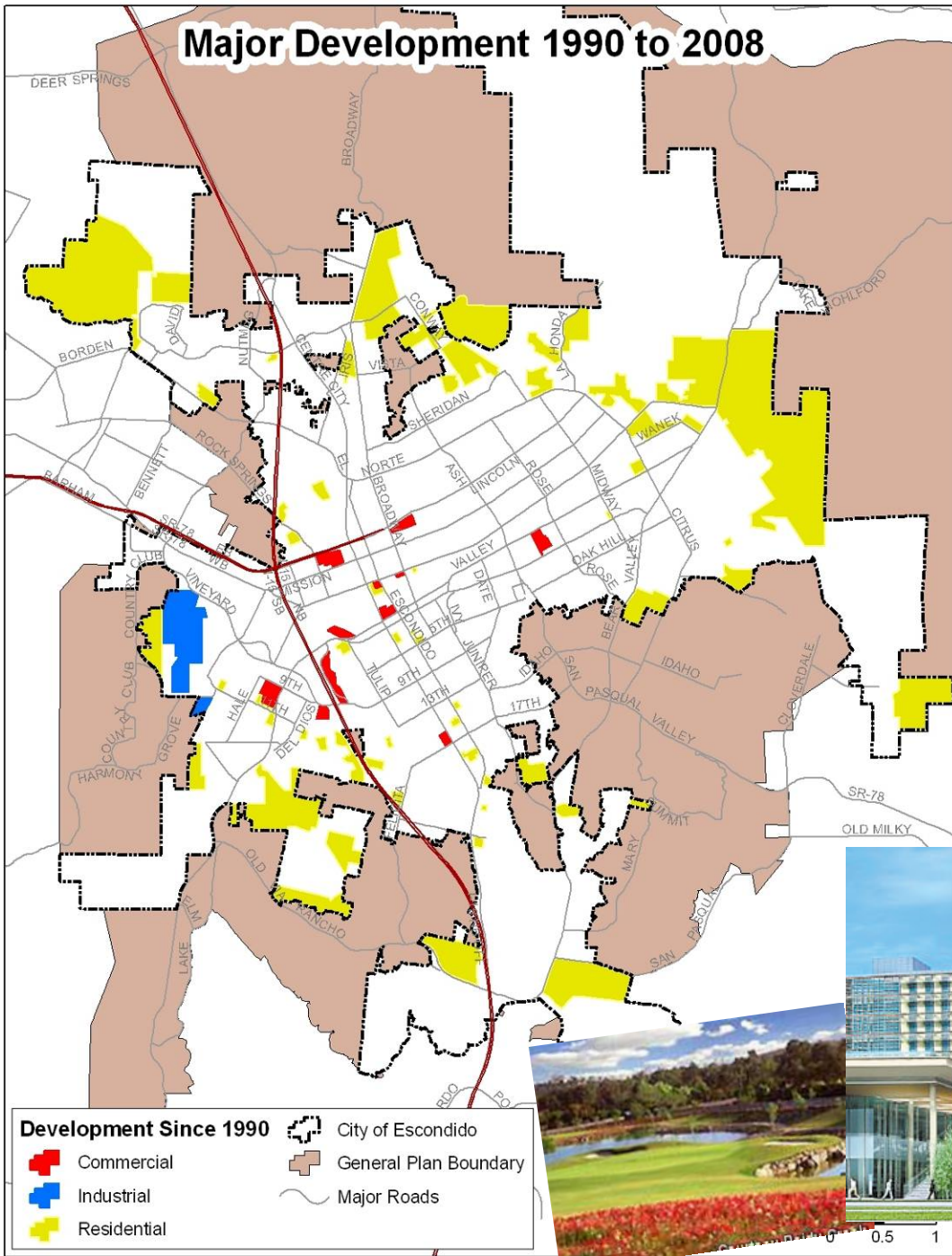


# Studies of Sewer Outfall Options





# Major Development 1990 to 2008



# Major Development



# Past Trends in the Region involving Sprawl Development Can't Continue

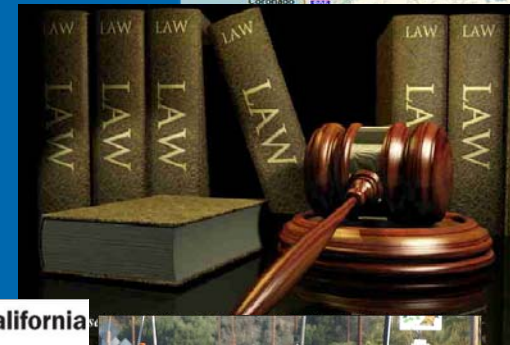


- Sprawl is
  - Inefficient
  - Not sustainable
  - A leading factor of traffic congestion
  - Impacting on open space preservation



# Other Issues Affecting Future Planning

- State / Federal Mandates
- Regional Coordination
- Infrastructure Capacity & Aging Public Facilities
- Limited Unconstrained Land
- Proposition “S”
- Habitat Issues
- Other Jurisdictions





# Issues Affecting Future Planning (Continued)

- Climate Change Legislation and Challenges
- Water Quality/Conservation
- Wild land Fire Interface
- Economic Development Needs
- Financing of Services and Infrastructure
- Timing of Demographic and Regional Planning Information



# SANDAG 2030 Forecast For Escondido's Existing City Boundary

2008	2010	2030
143,389	148,630	169,929
47,288 DU's	48,116 DU's	53,087 DU's
3.0 pph*	3.1 pph	3.2 pph

The current General Plan Boundary calls for a maximum population between 150,000 and 165,000

DU- Dwelling Unit  
pph-persons per household



# Sandag's Regional Plan Will Affect Our Planning Process

- Two-thirds of growth is from natural increase
- Existing General Plans in the Region do not provide enough housing to address forecasted
- The lack of housing creates overcrowding and or inefficient land use patterns
- Necessity for "Smart Growth"





# Smart Growth Principles Enhance Land Use and Urban Design

- Preserve urban centers; ensure adequate infrastructure
- Establish urban growth limits
- Encourage Mixed Use
- Develop for “Human Scale”



# Smart Growth Seeks to Expand Transportation Options

- Provide transit to highest intensities
- Provide choice of walking, biking, public transit, driving
- Connections to key activity centers and Regional Facilities



# Smart Growth Promotes High-Intensity Uses Close to Transit

High-intensity Land  
uses located within  
 $\frac{1}{4}$  to  $\frac{1}{2}$  mile from  
transit locations

Proximity to transit  
will decrease  
vehicle trips and  
improve air quality





# Smart Growth Encourages Protection of Environmental Resources



- Environmentally sensitive design principles
- Incorporation of native / low irrigation landscapes
- Alternative energy sources

photo by Randal Schultz, Schultz Communications

# General Plan and “Smart Growth” Principles Should Create a “Sense of Place”

- Neighborhood identity/pride
- Housing choices for residents of all incomes
- Jobs / Housing balance
- Vibrant public spaces





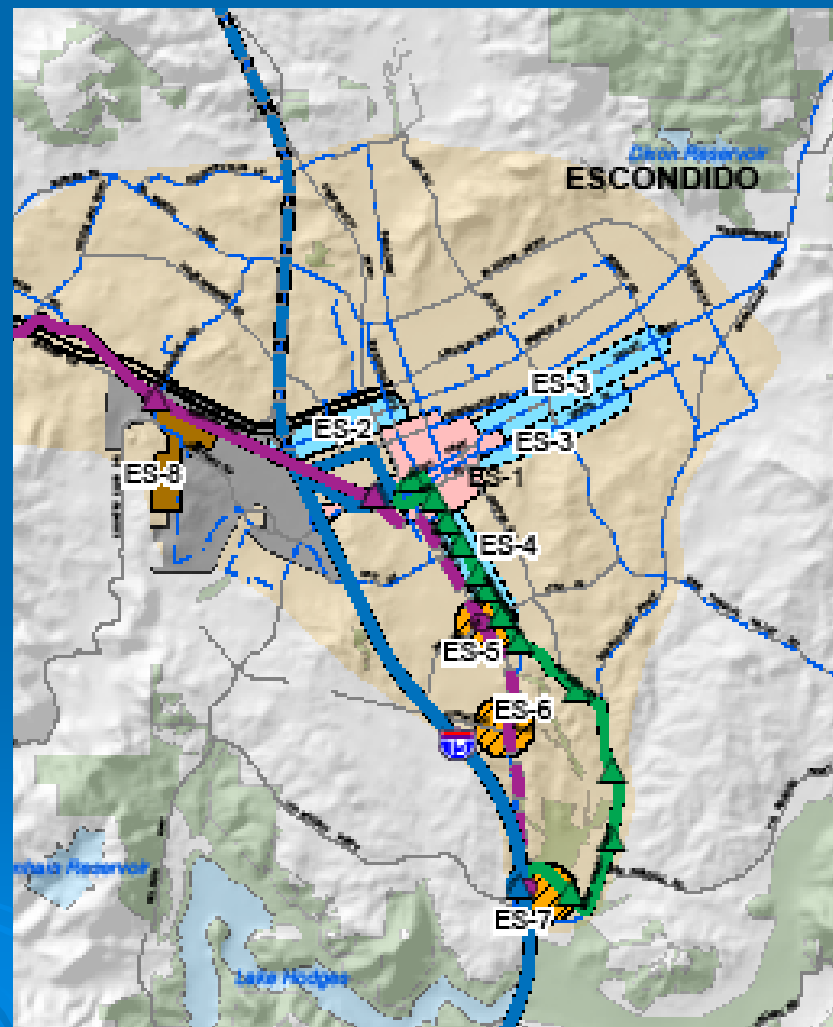
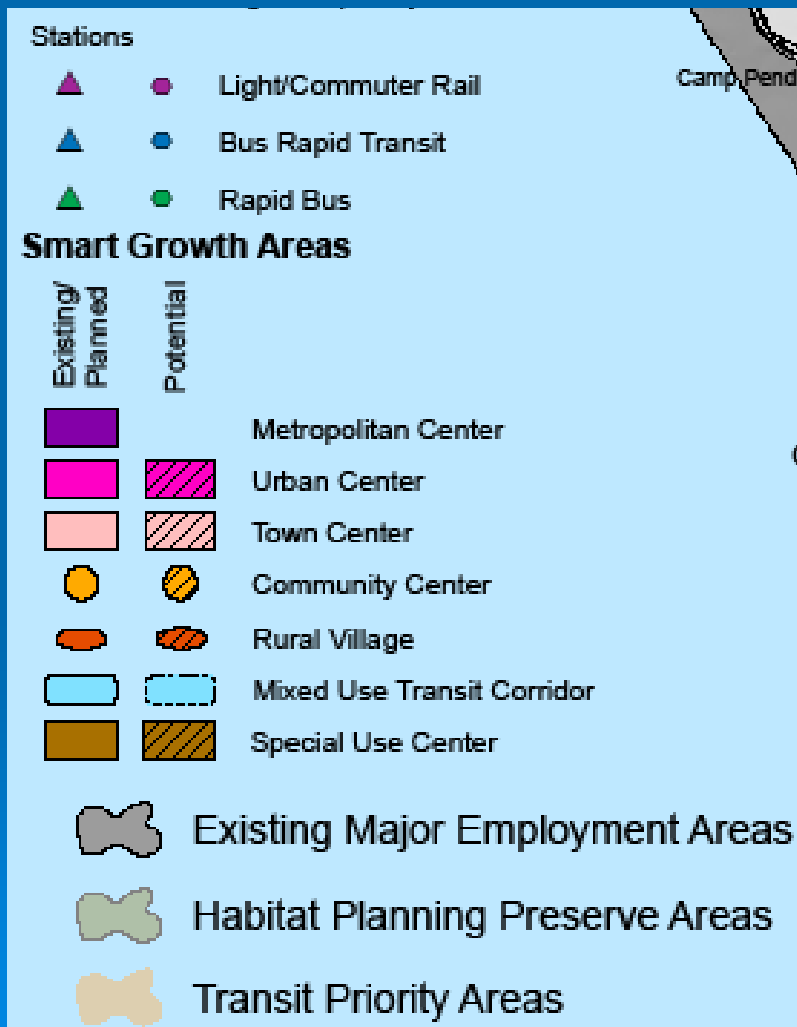
# We Expect Continued Strong Emphasis on Urban Infill/Smart Growth Projects

- Escondido examples of Smart Growth Projects





# SANDAG Smart Growth Centers Planned for Escondido



# SANDAG Smart Growth Simulations that Illustrate a “Sense of Place”



TRANSIT CENTER/POLICE STATION REDEVELOPMENT - ESCONDIDO

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Urban Advantage

# DOWNTOWN PARKING STRUCTURE – LA MESA





Urban Advantage

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Urban Advantage

## ALPINE BOULEVARD – ALPINE





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MARSHALL AVENUE AT THE EL CAJON TRANSIT CENTER – EL CAJON



Urban Advantage

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*Urban Advantage*

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*Urban Advantage*

## OLD PALM AVENUE AND 2ND STREET – IMPERIAL BEACH





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*Urban Advantage*

CESAR CHAVEZ PKWY AND MAIN ST.  
NEAR BARRIO LOGAN STATION – SAN DIEGO

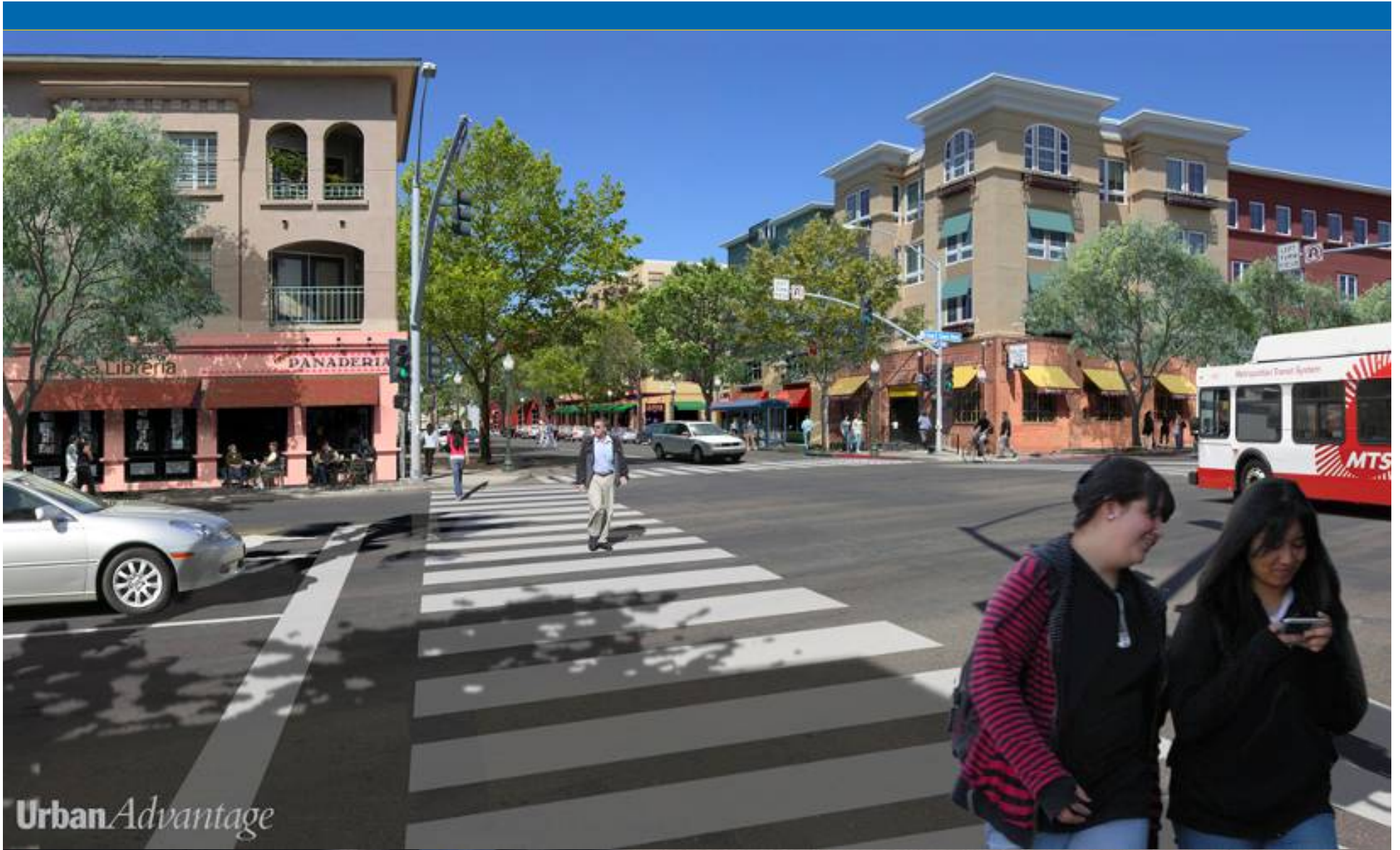


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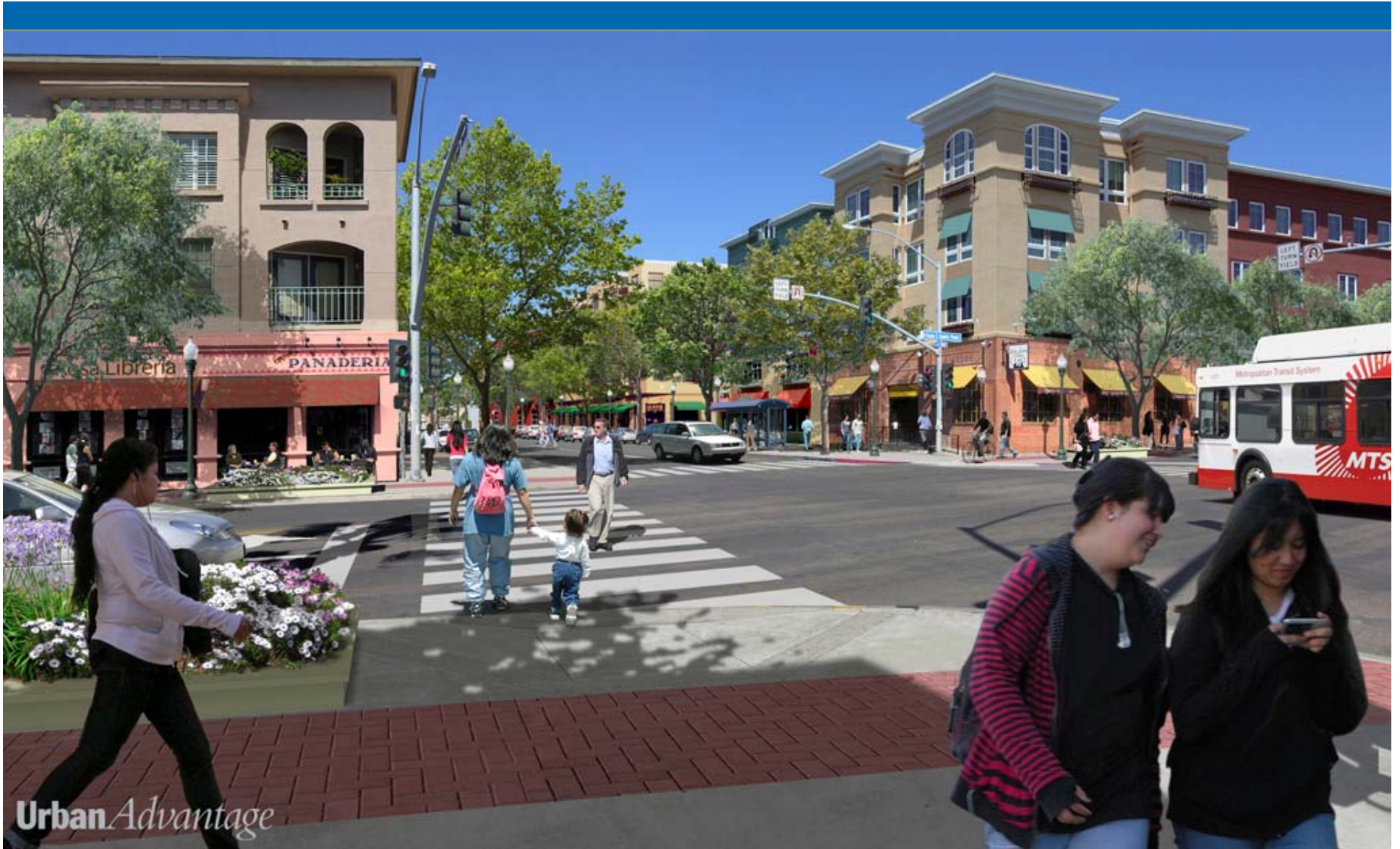
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*Urban Advantage*

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**CESAR CHAVEZ PKWY AND MAIN ST.  
NEAR BARRIO LOGAN STATION – SAN DIEGO**



E STREET NEAR BAYFRONT / STREET TROLLEY STATION  
CHULA VISTA





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## PALM AVENUE – IMPERIAL BEACH



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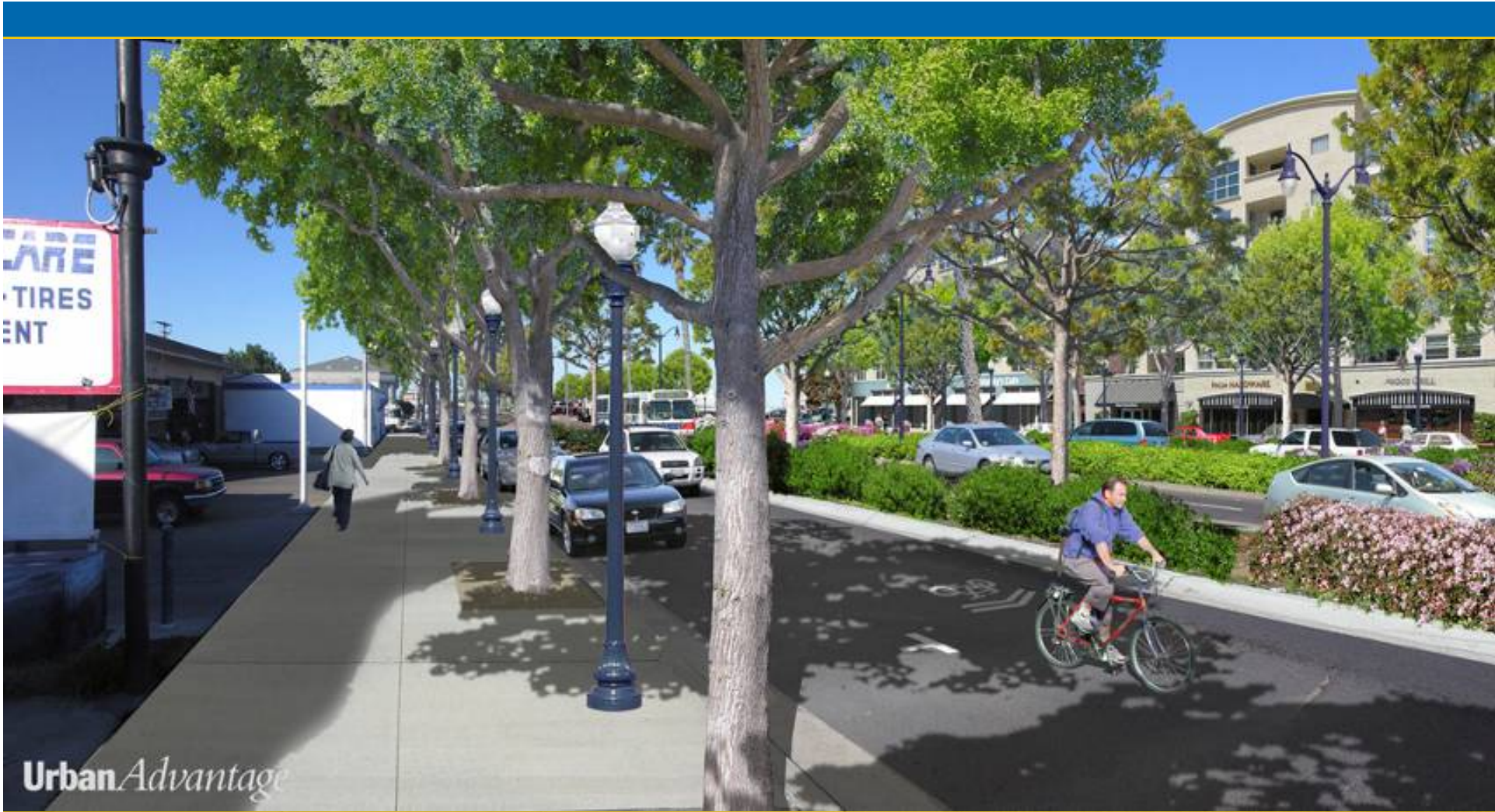
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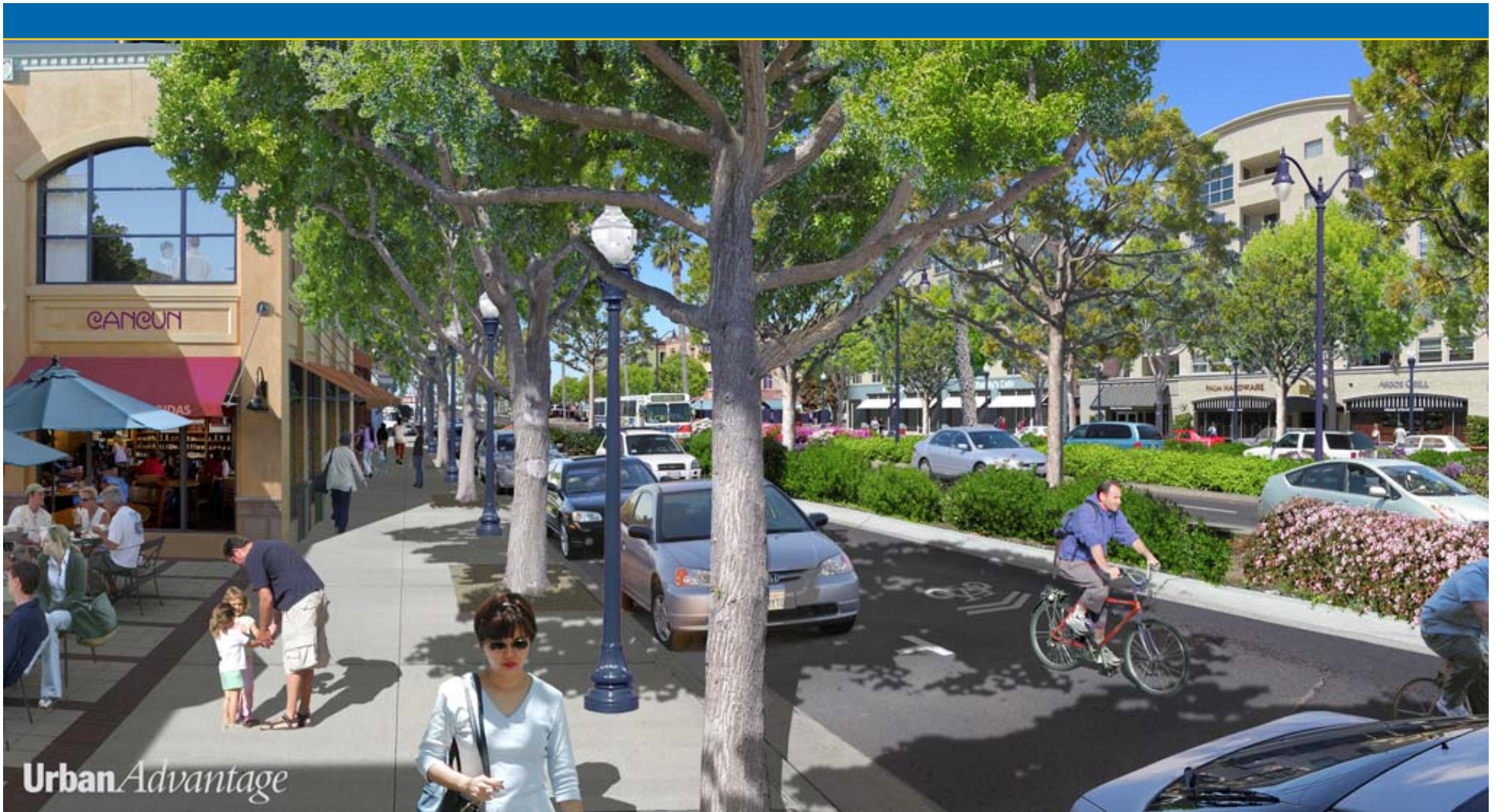




Urban Advantage

## PALM AVENUE – IMPERIAL BEACH





*Urban Advantage*

## PALM AVENUE – IMPERIAL BEACH



# Urban Density Examples in Escondido





## PROJECT: Centre City Row Homes (Tract 865)

Location: Pennsylvania Avenue & Kalmia Street

Size: 0.64 acre (12.4 du/acre)

Details: 15 Market Rate Townhomes (14 2-bdrm, one 3-bdrm)

Parking: 25 one & two car garages, 16 street spaces

Status: Complete



# PROJECT: Lumina (Tract 935)



Location: CCP / Washington

3.45 acres (18.55 du/acre)

Details: 64 attached market rate town homes

Each unit provided with 2-car side by side garage spaces

Project includes: 7,000 SF site reserved for commercial

Status: Approved, not under construction





## PROJECT: Tract 911

Location: 2412-2424 Escondido Blvd

Size: 2.53 acres (19.37 du/acre)

Details: 49 market rate units:

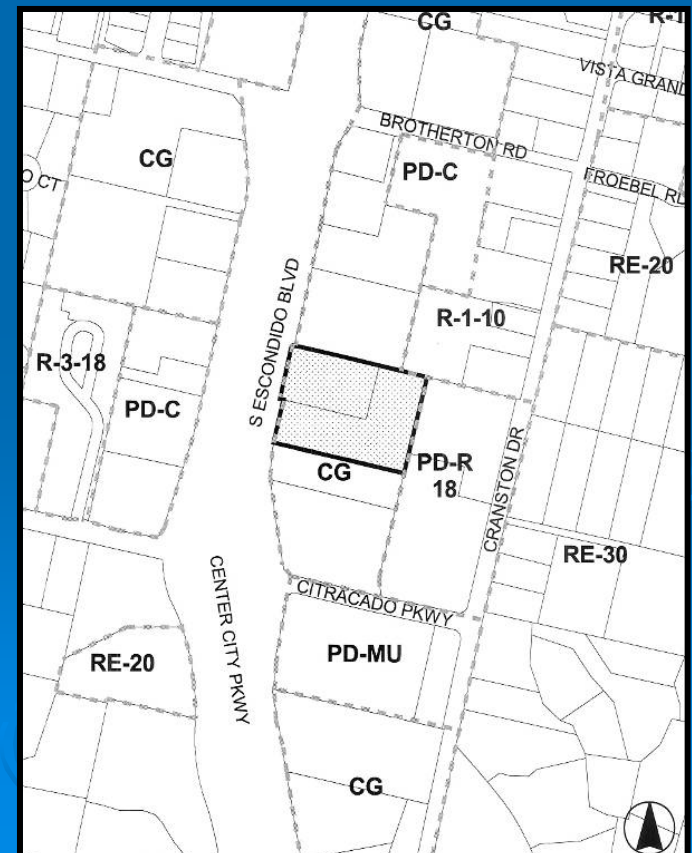
5 shopkeeper units along Escondido Blvd  
(shown in photo), 44 attached row homes:

22 two-bdrm, 15 three-bdrm, 12 four-bdrm

Project includes: 2,355 SF shopkeeper  
commercial space

Parking: 98 garaged spaces, 16 open spaces

Status: Approved, not under construction





# PROJECT (Tract 873-R)



Location: 2500 S. Escondido Blvd.

Size: 3.2 acres (19.38 du/acre)

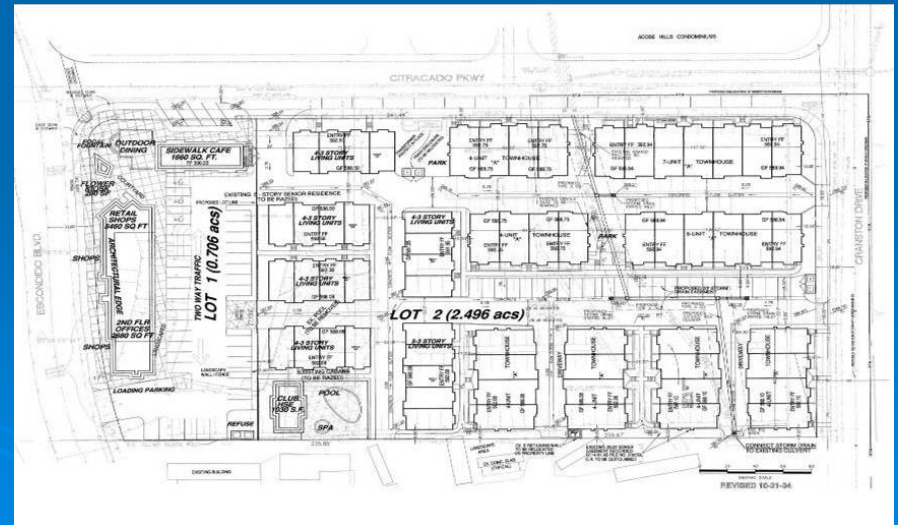
Details: 62 3-bdrm market rate attached units

Residential Parking: 74 garage spaces, 50 carport spaces, 26 surface

Commercial: Project includes 10,000 SF detached commercial space (pictured)

Commercial Parking: 38 on-site, 22 on-street.

Status: Completed



## PROJECT: Paramount (Tract 858-R)



Location: 511 N. Escondido

Size: 4.6 acres (20 du/acre)

Details: 92 Market Rate 3-bedroom townhomes

Parking: 184 attached garages (two spaces per unit) plus 34 guest spaces)

Status: Approved, Under construction





## PROJECT: Via Roble (Tract 852)

Location: Escondido Blvd between 15<sup>th</sup> and Felicita Avenues.

Size: 4.5 acres (20.22 du/acre)

Details: 91 mixed income units:

9 market rate shopkeeper units along Escondido Blvd (photo),

10 market rate detached row homes,

72 low income apartments: 9 studio, 9 one-bdrm, 27 two-bdrm, 27 three-bdrm

Parking: 200 total spaces:

9 enclosed spaces for shopkeeper

10 enclosed spaces for row homes

181 surface parking spaces

Project includes: 5,625 SF ground-floor pedestrian-oriented commercial (shopkeeper units)

Status: Completed



## PROJECT: CITY SQUARE (Tract 921)

Location: Entire block bounded by  
Second & Third Avenues, Orange  
Street, Centre City Parkway.

Size: 3.6 acres (28.3 du/acre)

Details: 102 Market Rate Condominiums:  
67 2-bdrm, 35 3-bdrm

All units include tandem garage parking

Status: Partially Completed



# PROJECT: Las Ventanas Village (2006-02-PD/CZ)



Location: 1404-1460 South Escondido Blvd.

Size 1.94 acre (41.24 du/acre)

Details: 80 Low-Income Apartments:

78 three-bdrm, 2-two-bdrm

6,785 SF commercial

235 space parking garage, at grade

Status: Completed





## PROJECT: 444 Escondido Boulevard (Tract 958)

Location: Block of Escondido Blvd,  
Fourth, Fifth Ave. and Maple Street.

Size: 2.74 acres (45.6 du/acre)

Project includes: 10,010+ SF  
Ground-floor Pedestrian-Oriented  
Commercial

Details: 125 residential units: 72 Flats: 6 one-  
bdrm, 54 two-bdrm, 12 three-bdrm.

53 Town homes: 39 two-bdrm, 14 three bdrm  
283-parking spaces on site (surface spaces,  
town home garages, podium garage)

Status: Approved, not under construction





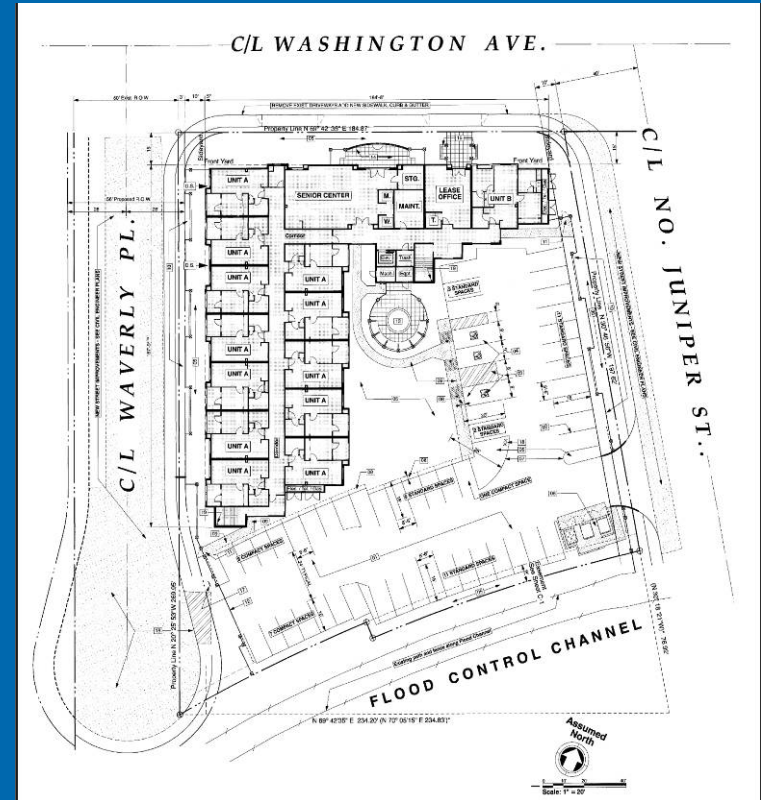


**NORTH ELEVATION (Washington Ave.)**

Revised for DRB Comments - 4/18/06



**EAST ELEVATION (Juniper St.)**



## PROJECT: So Cal Affordable Senior Units (2006-03-PD/SP)

Location: 215 E. Washington Avenue

Size: 1.14 acre (53.5 du/acre)

Details: 61 1-bedroom affordable apartments

Parking: 52 surface parking spaces

Status: Approved, not under construction



## PROJECT: City Plaza (2007-11-PD/SP)

Location: 328 S. Escondido Blvd  
Size: 0.80 acre (68.75 du/acre)  
Project includes: 9,350+ SF Ground-  
floor Pedestrian-Oriented  
Commercial  
Status: Under Construction

Details: 55 residential market rate apts:  
7 one-bdrm, 48 two-bdrm  
126- parking spaces, at-and below-grade  
podium garage



# PROJECT: Venue (Tract 926)



East Elevation



South Elevation

Location: Centre City Parkway / Washington

Size 1.16 acre (70.7 du/acre)

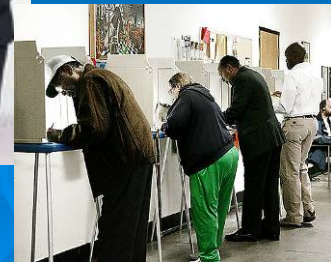
Details: 82 Condominiums: 28-1 bdrm, 54-2 bdrm

157 space parking garage, at and below grade

Status: Under Construction

# Initial General Plan Steps

- Develop baseline information
- Incorporate input from public workshops and presentations
- Develop recommendations and alternatives to be studied
- Perform preliminary analyses
- Solicit consultant proposals





# Anticipated Technical Studies

- Noise
- Air Quality
- Infrastructure
  - Water
  - Sewer
  - Streets
- Public Facilities/Services
  - Parks
  - Libraries
  - Police / Fire



# Opportunities for Public Input

- General Plan Update webpage
- Visioning Workshops
- Staff Outreach Presentations
- Environmental Review Process
- Public Hearings





# Timeframe Considerations

- Draft GP needed prior to EIR
- EIR minimum 7-9 months
- GP & EIR review must include other concerned agencies
- Final Approvals needed 3 months before the election
- Next General Elections:
  - June and November of 2010 & 2012

