

SMART GROWTH URBAN DENSITY EXAMPLES

Smart Growth is a planning doctrine that advocates compact, transit-oriented land use and the concentration of growth in the city's core. The following examples are projects completed, under construction or approved in Escondido's core area where Smart Growth principles would be implemented. Project densities range from 12.4 to over 70 units per acre.



PROJECT: Centre City Row Homes (Tract 865)
12.40 units per acre

Location: Pennsylvania Avenue & Kalmia Street

Size: 0.64 acre

Details: 15 Market Rate Townhomes (14 2-bdrm, one 3-bdrm)

Parking: 25 one & two car garages, 16 street spaces

Status: Complete

PROJECT: Lumina (Tract 935)

18.55 units per acre



Location: CCP / Washington

3.45 acres

Details: 64 attached market rate town homes

Each unit provided with 2-car side by side garage spaces

Project includes: 7,000 SF site reserved for commercial

Status: Approved, not under construction





PROJECT: Tract 911 19.37 units per acre

Location: 2412-2424 Escondido Blvd

Size: 2.53 acres

Details: 49 market rate units:

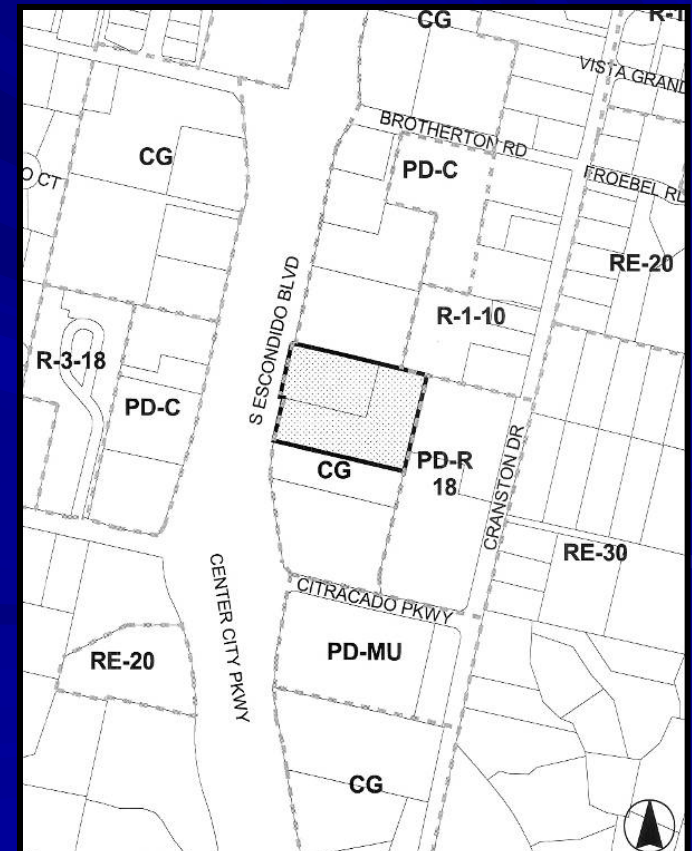
5 shopkeeper units along Escondido Blvd
(shown in photo), 44 attached row homes:

22 two-bdrm, 15 three-bdrm, 12 four-bdrm

Project includes: 2,355 SF shopkeeper
commercial space

Parking: 98 garaged spaces, 16 open spaces

Status: Approved, not under construction



PROJECT (Tract 873-R)

19.38 units per acre



Location: 2500 S. Escondido Blvd.

Size: 3.2 acres

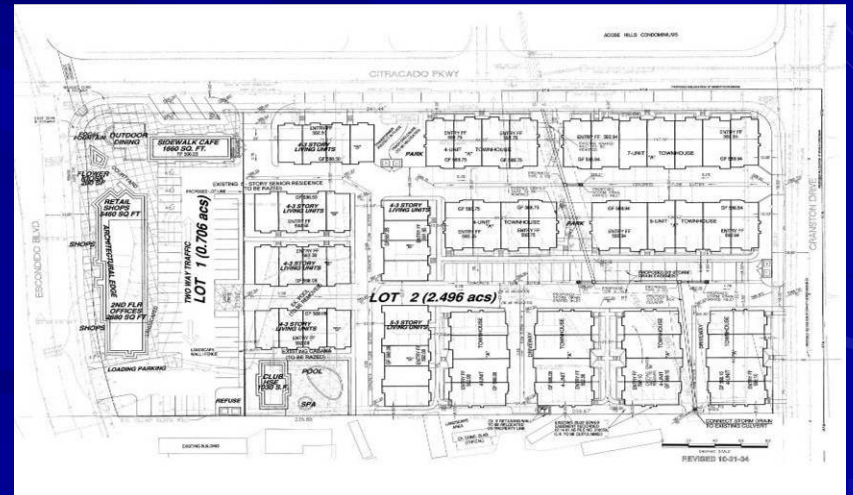
Details: 62 3-bdrm market rate attached units

Residential Parking: 74 garage spaces,
50 carport spaces, 26 surface

Commercial: Project includes 10,000 SF
detached commercial space (pictured)

Commercial Parking: 38 on-site, 22 on-street.

Status: Completed



PROJECT: Paramount (Tract 858-R) 20.00 units per acre



Location: 511 N. Escondido

Size: 4.6 acres

Details: 92 Market Rate 3-bedroom townhomes

Parking: 184 attached garages (two spaces per unit) plus 34 guest spaces)

Status: Destroyed while under construction, revised plans pending



PROJECT: Via Roble (Tract 852) **20.22 units per acre**

Location: Escondido Blvd between 15th and Felicita Avenues.

Size: 4.5 acres

Details: 91 mixed income units:
9 market rate shopkeeper units along Escondido Blvd (photo),
10 market rate detached row homes,
72 low income apartments: 9 studio, 9 one-bdrm, 27 two-bdrm, 27 three-bdrm

Parking: 200 total spaces:
9 enclosed spaces for shopkeeper
10 enclosed spaces for row homes
181 surface parking spaces

Project includes: 5,625 SF ground-floor pedestrian-oriented commercial (shopkeeper units)

Status: Completed



PROJECT: CITY SQUARE (Tract 921) **28.30 units per acre**

Location: Entire block bounded by
Second & Third Avenues,
Orange Street, Centre City
Parkway.

Size: 3.6 acres

Details: 102 Market Rate
Condominiums:

67 2-bdrm, 35 3-bdrm

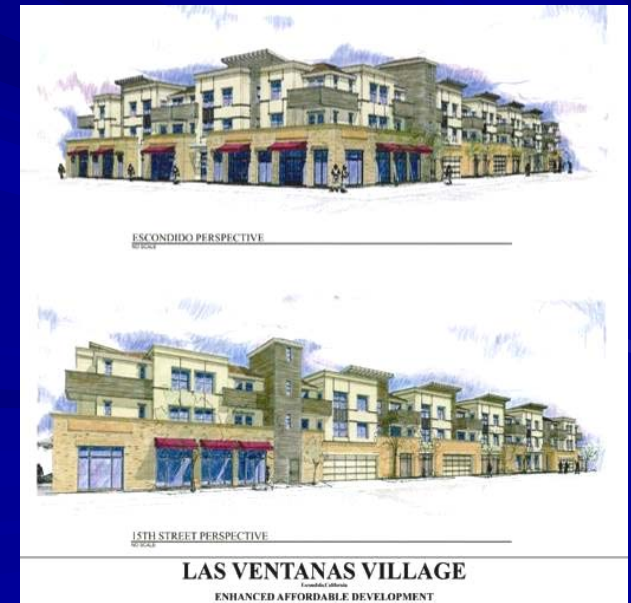
Parking: tandem garage for all units

Status: Partially Completed

PROJECT: Las Ventanas Village (2006-02-PD/CZ) 41.24 units per acre



Location: 1404-1460 South Escondido Blvd.
Size 1.94 acre
Details: 80 Low-Income Apartments:
78 three-bdrm, 2-two-bdrm
6,785 SF commercial
235 space at-grade podium garage
Status: Completed





PROJECT: 444 Escondido Boulevard (Tract 958) **45.60 units per acre**

Location: Block of Escondido Blvd,
Fourth, Fifth Ave. and Maple Street.

Size: 2.74 acres

Project includes: 10,010+ SF
Ground-floor Pedestrian-Oriented
Commercial

Details: 125 residential units: 72 Flats: 6 one-
bdm, 54 two-bdrm, 12 three-bdrm.

53 Town homes: 39 two-bdrm, 14 three bdrm
283-parking spaces on site (surface spaces,
town home garages, podium garage)

Status: Approved, not under construction



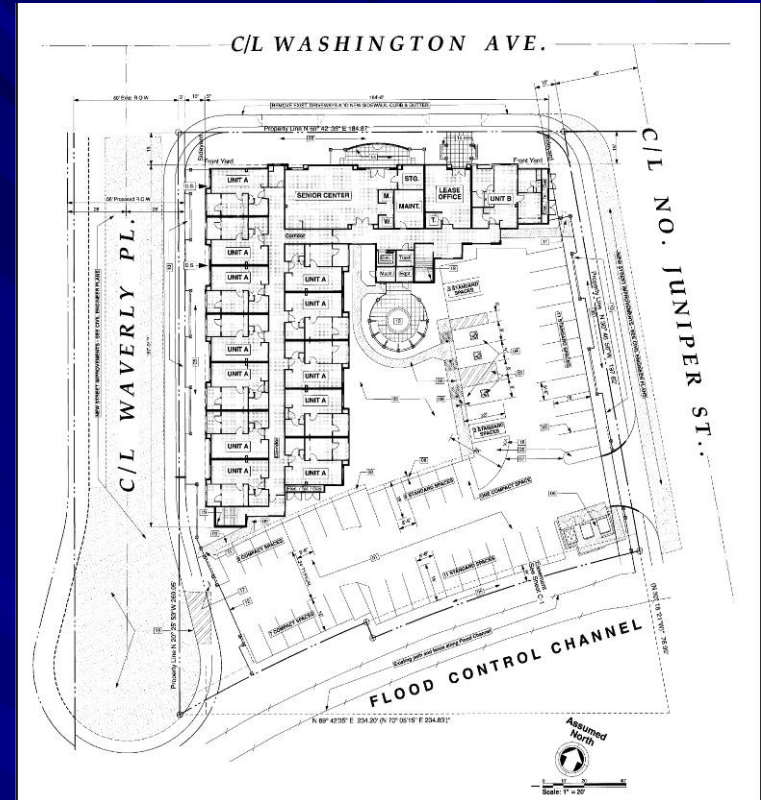


NORTH ELEVATION (Washington Ave.)

Revised for DRB Comments - 4/18/06



EAST ELEVATION (Juniper St.)



PROJECT: So Cal Affordable Senior Units (2006-03-PD/SP) 53.50 units per acre

Location: 215 E. Washington Avenue

Size: 1.14 acre

Details: 61 1-bedroom affordable apartments

Parking: 52 surface parking spaces

Status: Approved, not under construction



PROJECT: City Plaza (2007-11-PD/SP)
68.75 units per acre

Location: 328 S. Escondido Blvd

Size: 0.80 acre (68.75 du/acre)

Project includes: 9,350+ SF
Ground-floor Pedestrian-Oriented
Commercial

Details: 55 residential market rate apts:

7 one-bdrm, 48 two-bdrm

126- parking spaces, at-and below-
grade podium garage

Status: Under Construction

PROJECT: Venue (Tract 926)

70.70 units per acre



East Elevation



South Elevation

Location: Centre City Parkway / Washington

Size 1.16 acre

Details: 82 Condominiums: 28-1 bdrm, 54-2 bdrm

157 parking spaces, at-and below-grade podium garage

Status: Under Construction